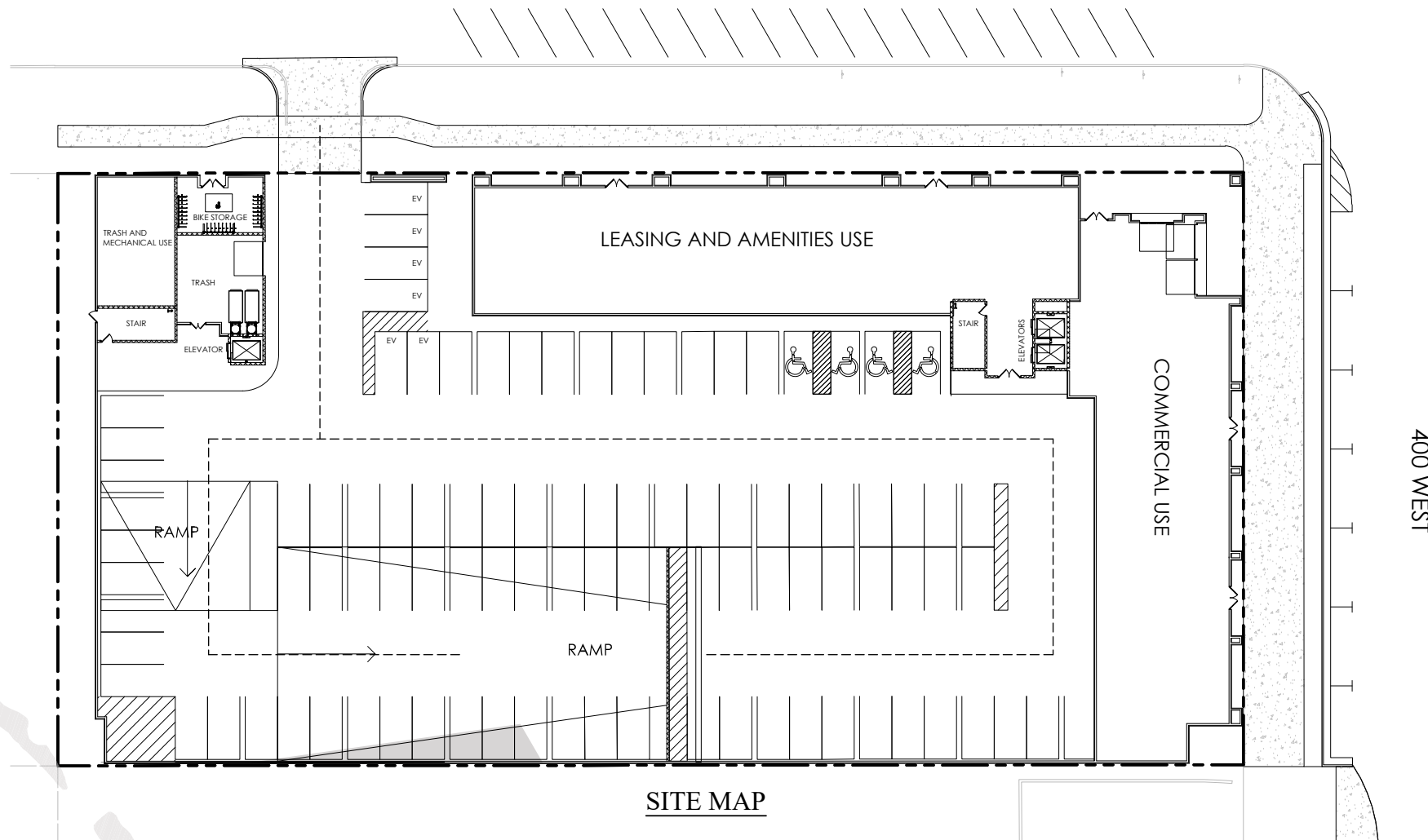


VICINITY MAP
NTS

PACIFIC YARD

PREPARED FOR:
JAMES ALFANDRE
LOCATED IN:
SALT LAKE CITY

700 SOUTH



SITE MAP

GENERAL NOTES

- CONTRACTOR TO FIELD VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- ANY AND ALL DISCREPANCIES IN THESE PLANS ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL CONSTRUCTION SHALL ADHERE TO SALT LAKE CITY AND APWA STANDARD PLANS AND SPECIFICATIONS.
- ALL UTILITIES AND ROAD IMPROVEMENTS SHOWN ON THE PLANS HEREIN SHALL BE CONSTRUCTED USING REFERENCE TO SURVEY CONSTRUCTION STAKES PLACED UNDER THE SUPERVISION OF A PROFESSIONAL LICENSED SURVEYOR WITH A CURRENT LICENSE ISSUED BY THE STATE OF UTAH. ANY IMPROVEMENTS INSTALLED BY ANY OTHER VERTICAL OR HORIZONTAL REFERENCE WILL NOT BE ACCEPTED OR CERTIFIED BY THE ENGINEER OF RECORD.
- THIS DRAWING SET IS SCALED TO BE PRINTED ON A 24" X 36" SIZE OF PAPER (ARCH D). IF PRINTED ON A SMALLER PAPER SIZE, THE DRAWING WILL NOT BE TO SCALE AND SHOULD NOT BE USED TO SCALE MEASUREMENTS FROM THE PAPER DRAWING. ALSO USE CAUTION, AS THERE MAY BE TEXT OR DETAIL THAT MAY BE OVERLOOKED DUE TO THE SMALL SIZE OF THE DRAWING.

NOTICE

BEFORE PROCEEDING WITH THIS WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL CONDITIONS, QUANTITIES, DIMENSIONS, AND GRADE ELEVATIONS, AND SHALL REPORT ALL DISCREPANCIES TO THE ENGINEER.

ENGINEER'S NOTES TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. IF UTILITY LINES ARE ENCOUNTERED DURING CONSTRUCTION THAT ARE NOT IDENTIFIED BY THESE PLANS, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, THE OWNER, AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- UNAUTHORIZED CHANGES & USES: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- ALL CONTOUR LINES SHOWN ON THE PLANS ARE AN INTERPRETATION BY CAD SOFTWARE OF FIELD SURVEY WORK PERFORMED BY A LICENSED SURVEYOR. DUE TO THE POTENTIAL DIFFERENCES IN INTERPRETATION OF CONTOURS BY VARIOUS TYPES OF GRADING SOFTWARE BY OTHER ENGINEERS OR CONTRACTORS, FOCUS DOES NOT GUARANTEE OR WARRANT THE ACCURACY OF SUCH LINEWORK. FOR THIS REASON, FOCUS WILL NOT PROVIDE ANY GRADING CONTOURS IN CAD FOR ANY TYPE OF USE BY THE CONTRACTOR. SPOT ELEVATIONS AND PROFILE ELEVATIONS SHOWN IN THE DESIGN DRAWINGS GOVERN ALL DESIGN INFORMATION ILLUSTRATED ON THE APPROVED CONSTRUCTION SET. CONSTRUCTION EXPERTISE AND JUDGMENT BY THE CONTRACTOR IS ANTICIPATED BY THE ENGINEER TO COMPLETE BUILD-OUT OF THE INTENDED IMPROVEMENTS.

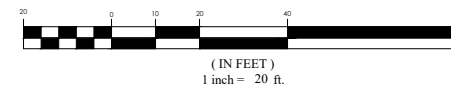
CONTACTS

ENGINEER & SURVEYOR
FOCUS ENGINEERING & SURVEYING, LLC
6949 S. HIGH TECH DRIVE SUITE 200
MIDVALE, UTAH 84047
(801) 352-0075
PROJECT MANAGER: CAMERON TAYLOR
SURVEY MANAGER: EVAN WOOD

OWNER/DEVELOPER
URBAN ALFANDRE
650 S 500 W, UTAH 84101
CONTACT: JAMES@URBANALFANDRE.COM



GRAPHIC SCALE



FOR
REVIEW
ONLY

PACIFIC YARD
SALT LAKE CITY
COVER SHEET

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

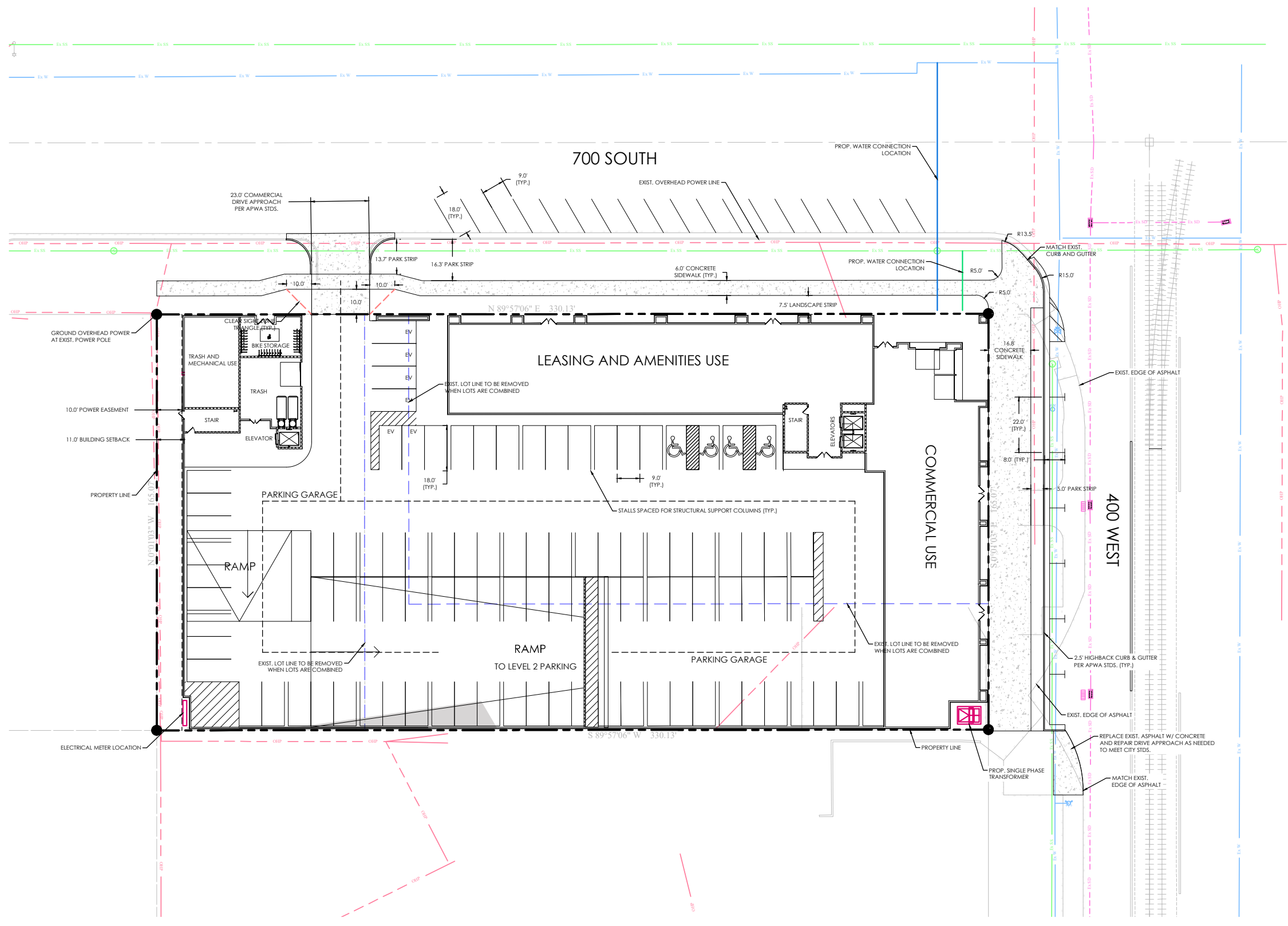
COVER SHEET

Scale: 1"=30'
Date: 01/04/2022
Sheet:

C1

FOR REVIEW ONLY

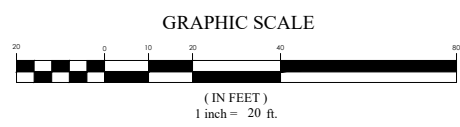
PACIFIC YARD
 SALT LAKE CITY
 SITE PLAN



LEGEND

---	BOUNDARY
---	ROW
---	CENTERLINE
---	LOT LINE
---	EASEMENT
---	15" STORM DRAIN
---	8" SANITARY SEWER
---	8" CULINARY WATER
---	8" SECONDARY WATER
---	CONTOUR MAJOR
---	CONTOUR MINOR
---	EXIST. STORM DRAIN
---	EXIST. SANITARY SEWER
---	EXIST. CULINARY WATER
---	EXIST. FENCE
---	EXIST. CONTOUR MAJOR
---	EXIST. CONTOUR MINOR
+	SIGN
+	STREET LIGHT
+	SD MH, INLET, AND COMBO
+	SEWER MANHOLE
+	CULINARY VALVE, TEE & BEND
+	SECONDARY VALVE, TEE & BEND
+	WATER BLOW-OFF
+	FIRE HYDRANT
+	STREET MONUMENT (TO BE SET)
+	EXIST. STREET MONUMENT
+	EXIST. SD INLET & MH
+	EXIST. SEWER MH
+	EXIST. VALVE, TEE, & BEND
+	EXIST. FIRE HYDRANT
+	SPOT ELEVATION

- NOTES:**
- LOT AREA : 54494 SQFT
 - PUBLIC PARKING : 25 STALLS
 - THERE ARE NO EXISTING TREES ON THIS SITE



REVISION BLOCK	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

SITE PLAN

Scale: 1"=20'
 Date: 01/04/2022
 Sheet: C2

Drawn: CT
 Job #: 21-0268



Z:\2021\120268 704 South Apartments\design\21-0268\dwg\sheet\C2 SITE PLAN.dwg



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389-6029
AMILLER@KTGY.COM



511 W. 200 S. SUITE 125
S.L.C. UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT:
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMITTAL

LANDSCAPE LAYOUT PLAN

PROJECT NUMBER: 201701C

L1-01

TOTAL BUILDING HEIGHT:	HT: 87'-10"	FLOOR LEVELS: 7
60' BY RIGHT:	60'	'5 TYPICAL
ADDITIONAL HEIGHT REQUEST:	27'-10"	
REQUIRED ADDITIONAL LANDSCAPE:	INTERIOR SQUARE FOOTAGE: 39,372	10% ADDITIONAL LANDSCAPE: 3,937
	LEVEL 6: 37,675	LEVEL 7: 3,768
		7,705

FRONT YARD (10'):	S.F.: 3,230
700 SOUTH - FOOTPRINT AT LOT LINE	
CORNER SIDE YARD (10'):	1,445
400 WEST - FOOTPRINT AT LOT LINE	
REAR YARD (10'):	3,230
SOUTHERN BOUNDARY	
INTERIOR SIDE YARD (0'):	0
REQUIRED LANDSCAPE:	7,905

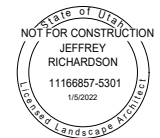
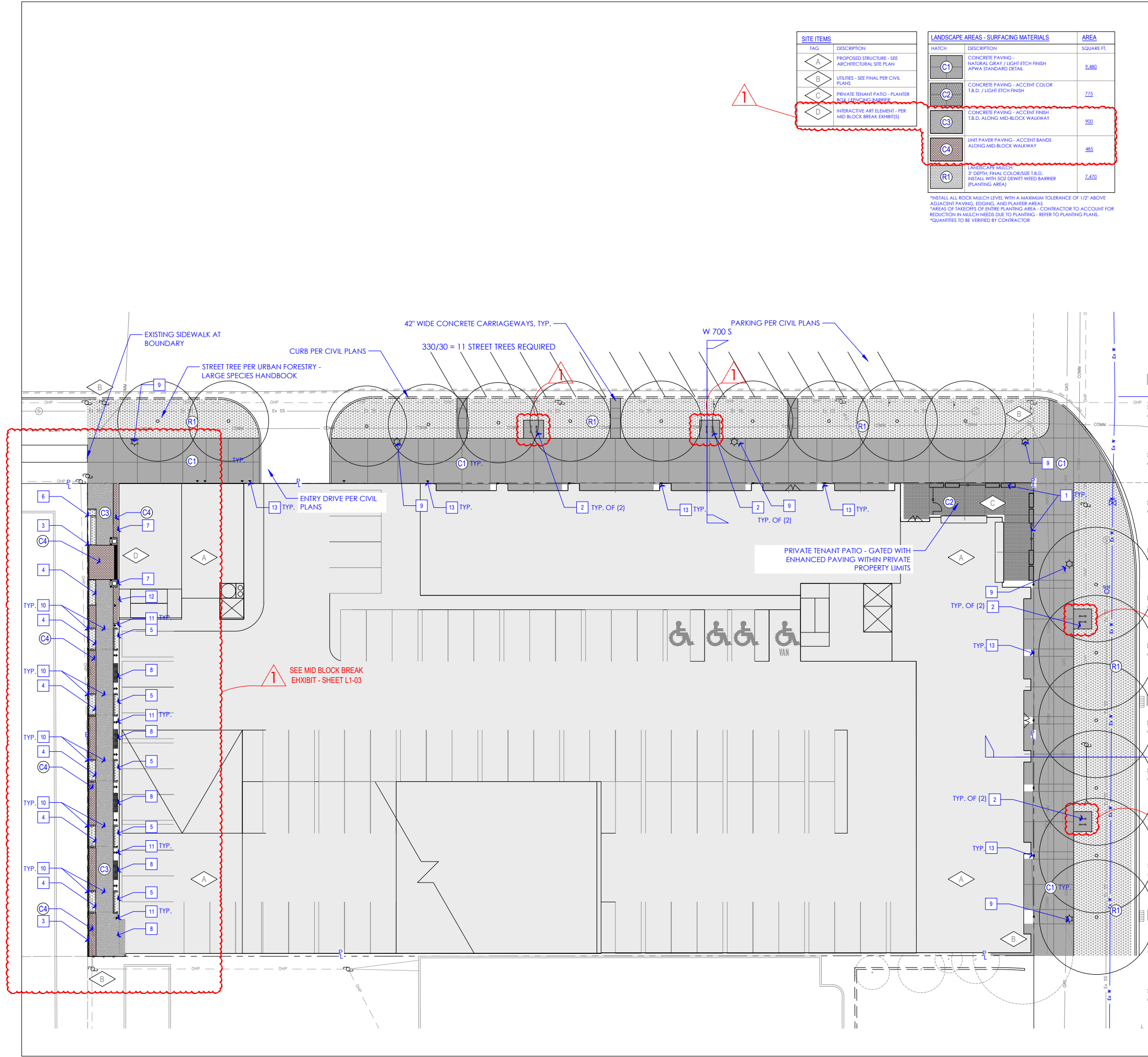
REQUIRED LANDSCAPING (STREET LEVEL)	
ADDITIONAL LANDSCAPING PER HT:	7,705
LANDSCAPE YARD AREA:	7,905
SEE TABLE (B)	
TOTAL:	15,610
REQUESTED RELIEF FROM REQUIREMENTS:	100% 15,610

NON REQUIRED LANDSCAPE PROVIDED:	S.F.:
MID-BLOCK BREAK - WESTERN BOUNDARY	1885
PODIUM DFCK (LEVEL 3 AMENITY AREA)	8260
ROOF DECK (LEVEL 7 AMENITY AREA)	1000
TOTAL:	11,145

SITE ITEMS		LANDSCAPE AREAS - SURFACING MATERIALS		AREA
TAG	DESCRIPTION	HATCH	DESCRIPTION	SQUARE FT.
A	PROPOSED STRUCTURE - SEE ARCHITECTURAL SITE PLAN	C1	CONCRETE PAVING - NATURAL GRAY / LIGHT ETCH FINISH APWA STANDARD DETAIL	9,480
B	UTILITIES - SEE FINAL PER CIVIL PLANS	C2	CONCRETE PAVING - ACCENT COLOR T.B.D. / LIGHT ETCH FINISH	775
C	PRIVATE TENANT PATIO - PLANTER BOX / EDGING BANDS	C3	CONCRETE PAVING - ACCENT FINISH T.B.D. ALONG MID-BLOCK WALKWAY	900
D	INTERACTIVE ART ELEMENT - PER MID-BLOCK BREAK EXHIBIT(S)	C4	UNIT PAVER PAVING - ACCENT BANDS ALONG MID-BLOCK WALKWAY	485
		R1	LANDSCAPE MULCH: 3" DEPTH, FINAL COLOR/SIZE T.B.D. INSTALL WITH SO2 DEWITT WEED BARRIER (PLANTING AREA)	7,470

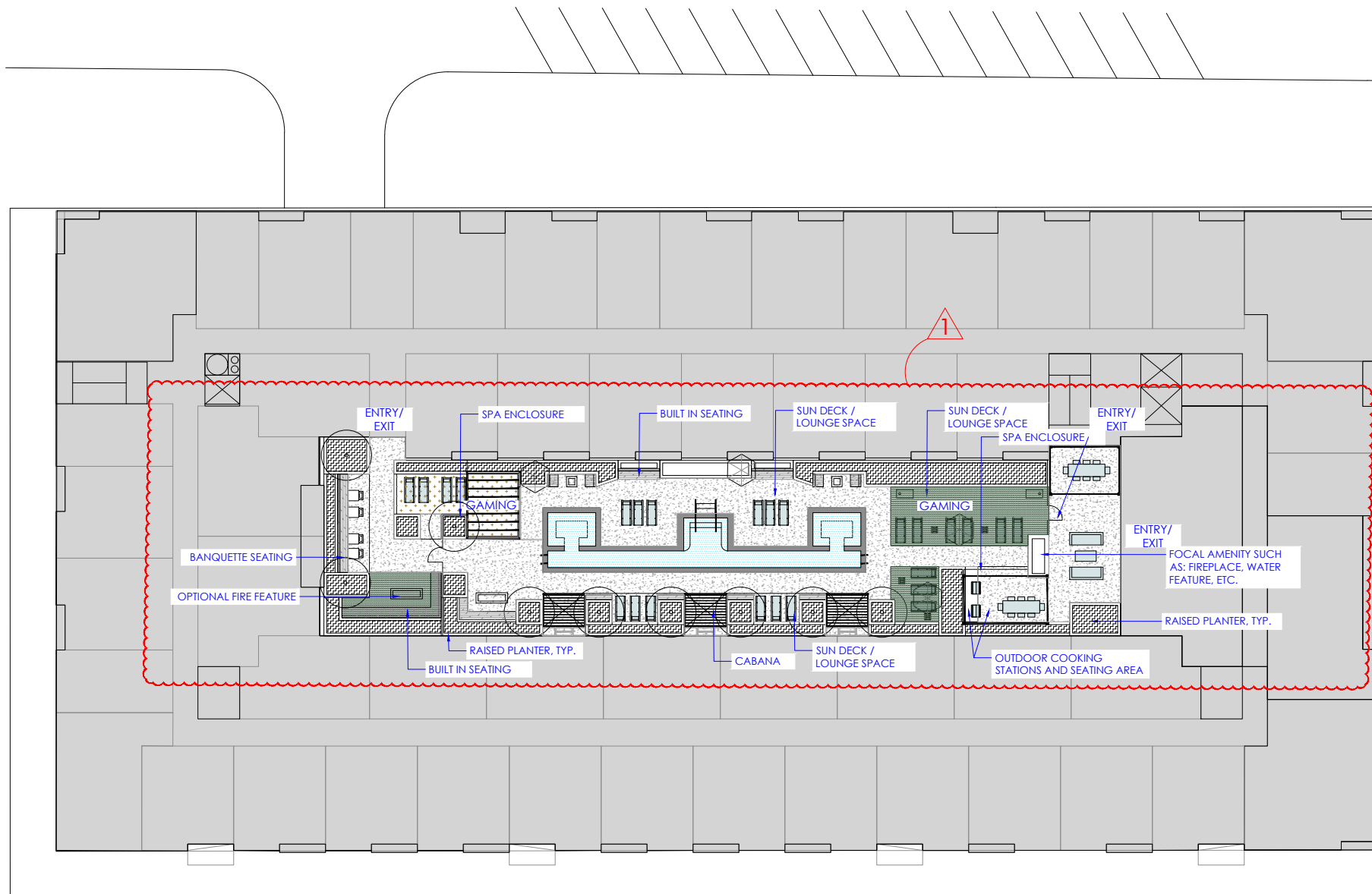
*INSTALL ALL ROCK MULCH LEVEL WITH A MAXIMUM TOLERANCE OF 1/2" ABOVE ADJACENT PAVING, EDGING, AND PLANTER AREAS
*AREAS OF INTEREST OF ENTIRE PLANTING AREA - CONTRACTOR TO ACCOUNT FOR REDUCTION IN MULCH NEEDS DUE TO PLANTING - REFER TO PLANTING PLANS.
*QUANTITIES TO BE VERIFIED BY CONTRACTOR

TAG	DESCRIPTION
1	PLANTER BOX
2	BIKE RACK IN PUBLIC R.O.W. - INSTALLED PER TYPICAL SLC BIKE RACK DETAILS ON CONCRETE PAD WITHIN PARKSTRIP - FT. 01 & FT. 02
3	6' HEIGHT METAL PICKET PROPERTY LINE FENCING ON CURB
4	IN GRADE PLANTER WITH RAISED STEEL EDGE - MID BLOCK WALKWAY
5	RAISED FOUNDATION PLANTER
6	OPTIONAL FEATURE WALL / SIGNAGE (PRIVATE PROPERTY) AT MID BLOCK WALKWAY
7	PLANTER POT ON PLUMB WITH UP-LIGHTS IN MID BLOCK WALKWAY
8	BUILT-IN BENCH SEATING AT RAISED FOUNDATION WALL
9	ESTIMATED STREET LIGHT LOCATION - FINAL TBD
10	CATINERY LIGHTS & POST LOCATION AT MID BLOCK WALKWAY
11	ESTIMATED UP-LIGHT IN FOUNDATION WALL & UP/DOWN SCENCE LIGHT AT MID BLOCK WALKWAY
12	PRIVATE ENTRANCE
13	UP/DOWN SCENCE LIGHT AT EACH ARCHITECTURAL COLUMN - FINAL T.B.D.



SCALE:
1/16" = 1'-0"

LANDSCAPE AREAS - LEVEL 3 OUTDOOR AMENITY DECK



*DESIGN INTENT ONLY - FINAL DESIGN T.B.D. PENDING PLANNING REVIEW
 *QUANTITIES AND DESCRIPTION OF LANDSCAPE AREAS SHOWN FOR DESIGN INTENT PURPOSES ONLY AND ARE SUBJECT TO CHANGE

LEVEL 3 AMENITY DECK		AREA EST.
HATCH	DESCRIPTION	SQUARE FT.
[Hatch Pattern]	LANDSCAPE / LIVE COVERAGE. *PLANT SELECTIONS TO BE 80% FROM SLC LOW WATER USE LIST *RAISED PLANTER WALLS	1,255
[Hatch Pattern]	LANDSCAPE SURFACE SUCH AS: CONCRETE TOPPING SLAB, PAVERS, TILE, ETC.	3,820
[Hatch Pattern]	SOFT SURFACING LOUNGE/GAMING SPACE SUCH AS: ARTIFICIAL TURF, COMPACTED LANDSCAPE MATERIALS, RUBBER SURFACING, ETC.	885
[Hatch Pattern]	OUTDOOR GAMING SPACE - FINAL GAMES T.B.D., SUCH AS: GROUP EXERCISE SPACE, GAMING SURFACE, VOLLEYBALL, ETC.	350
[Hatch Pattern]	SWIM SPA - WATER AMENITY	575

TOTAL OUTDOOR COURTYARD AREA:
8,260 S.F.



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400

CONTACT:
 ALYSSA MILLER
 (303) 389-6029
 AMILLER@KTGY.COM

LANDSCAPE ARCHITECT



511 W. 200 S. SUITE 125
 SLC, UTAH 84101
 OFFICE: 801.521.2370
 WWW.LANDFORMDESIGNGROUP.COM

CONTACT:
 JEFF RICHARDSON
 JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
 URBAN ALFANDRE
 825 N 300 W #141
 SALT LAKE CITY, UT 84103

CONTACT:
 JAMES ALFANDRE
 JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

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LANDSCAPE PLAN -
 LEVEL 3



SCALE:
 1/16" = 1'-0"

PROJECT NUMBER
 20170.C

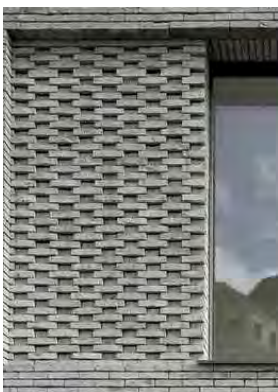
L1-02



INTERACTIVE ART- As the pedestrian moves around the corner, they are drawn in by the colorful angled walls visible from the street. And just around the corner is an interactive art display to help foster a sense of community.



FRAMED ART DISPLAY- Every other bay is to have a screened opening into the garage, or a framed mural.



BRICK DETAILING - We are showing a brick pattern that wraps the corner on the ground level to bring the pedestrian's interest into the alley. To make a clear connection between the base and the middle of the building, the brick detail is simplified on the upper stories.



SCONCE UP/DOWN LIGHTING - Sconces that light up and down, are shown at every bay to create a safe and inviting atmosphere



WALKWAY SEATING - Seating with integrated landscaping helps to soften the industrial inspired facade.



STREET SECTION EXHIBITS



MID BLOCK BREAK EXHIBIT



MID BLOCK BREAK EXHIBIT



MID BLOCK BREAK EXHIBIT

SCALE: 1/16" = 1'-0"

ktgy
 KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400
 CONTACT:
 ALYSSA MILLER
 (303) 389-6029
 AMILLER@KTGY.COM
 LANDSCAPE ARCHITECT
EDC
 URBAN STUDIO
 511 W. 200 S. SUITE 125
 SLC, UTAH 84101
 OFFICE: 801.521.2370
 WWW.LANDFORMDESIGNGROUP.COM
 CONTACT:
 JEFF RICHARDSON
 JRICHARDSON@LANDFORMDESIGNGROUP.COM
 FOR:
 URBAN ALFANDRE
 825 N 300 W #N141
 SALT LAKE CITY, UT 84103
 CONTACT:
 JAMES ALFANDRE
 JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY

**704 SOUTH 400 WEST
 SALT LAKE CITY, UTAH**

DATE:	ISSUED FOR:
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EXHIBITS

PROJECT NUMBER
20170.C

L1-03



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389-6029
AMILLER@KTGY.COM



511 W. 200 S. SUITE 125
SLC, UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT:
JEFF RICHARDSON
RICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

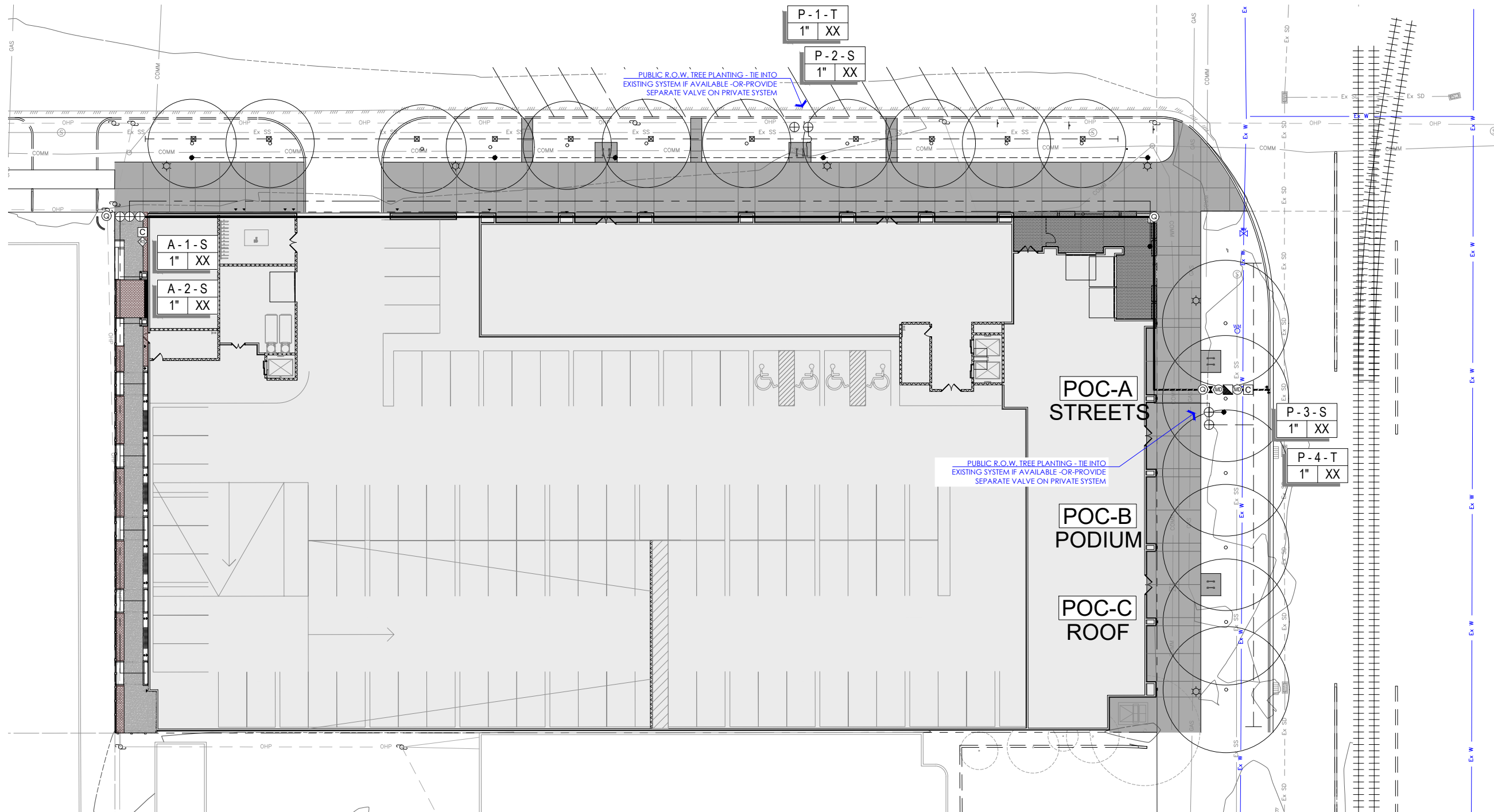
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PACIFIC YARD MULTI-FAMILY
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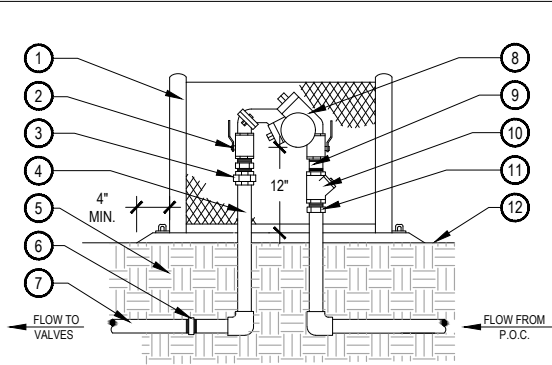
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IRRIGATION PLAN

L2-01



SCALE:
1/16" = 1'-0"

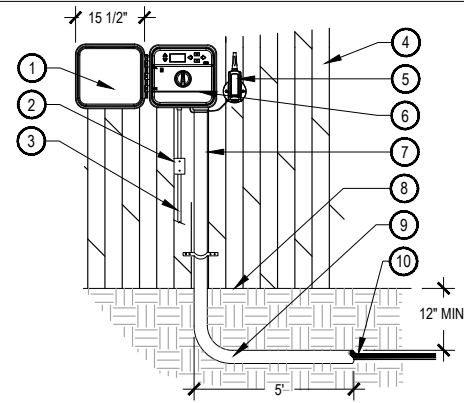


- 1 BACKFLOW ENCLOSURE # GS-1
- 2 BALL VALVE
- 3 BRASS UNION
- 4 TYPE K COPPER PIPE
- 5 COMPACTED SUBGRADE
- 6 PVC ADAPTOR 30" BEYOND UNIT
- 7 PVC MAINLINE
- 8 REDUCED PRESSURE BACKFLOW PREVENTER WITH BALL VALVES
- 9 BRASS NIPPLE
- 10 BRASS WYE STRAINER (100 MESH)
- 11 COPPER ADAPTER
- 12 FINISH GRADE

- NOTE:
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AROUND COPPER SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB BASE.
 3. BACKFLOW PREVENTION DEVICES SHALL BE PLACED A MINIMUM OF TWO (2) FEET FROM THE WATER METER AND BE THE SAME SIZE AS THE METER SERVICE LINE.
 4. PROVIDE THRUST BLOCKS FOR LINES 2-1/12" OR LARGER.

1 BACKFLOW PREVENTER

SCALE: NTS

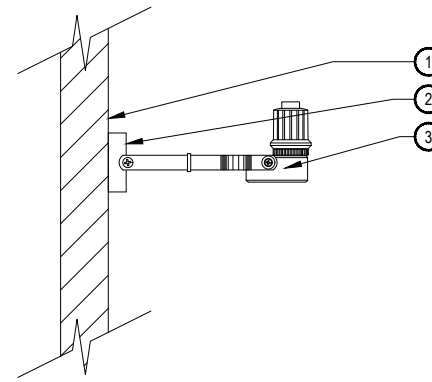


- 1 CONTROLLER PER SCHEDULE MOUNT AT EYE-LEVEL W/ CLEARANCE FOR DOOR OPENING, PER MANUFACTURER'S RECOMMENDATIONS
- 2 DISCONNECT JUNCTION BOX
- 3 CONNECT PER LOCAL CODE TO EXISTING POWER SOURCE IN STEEL CONDUIT (BY OTHERS)
- 4 BUILDING WALL
- 5 WIRELESS SENSOR RECEIVER MOUNTED ON THE WALL NEXT TO THE CONTROLLER
- 6 SENSOR MODULE IS PROVIDED IN CONTROLLER
- 7 RIGID STEEL CONDUIT W/ CONTROL WIRES TO VALVES AND GROUNDING
- 8 FINISH GRADE
- 9 CONDUIT TO EXTEND 5 FT. BEYOND WALL
- 10 UF DIRECT BURIAL WIRE TO REMOTE CONTROL VALVES.

- NOTE:
1. ALL ELECTRICAL AND CONTROLLER WIRE TO BE INSTALLED PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 2. ALL ELECTRICAL MATERIALS SHALL BE U.L. APPROVED FOR USE AS SHOWN.
 3. GROUND CONTROLLER PER LOCAL CODE AND MANUFACTURER'S SPECIFICATIONS.
 4. PROVIDE WATERPROOF SEALANT FOR ALL CONDUIT AND WIRE ACCESS POINTS.
 5. PROVIDE LOCK AND KEY FOR ENCLOSURE.

4 WALL MOUNT IRRIGATION CONTROLLER

SCALE: NTS

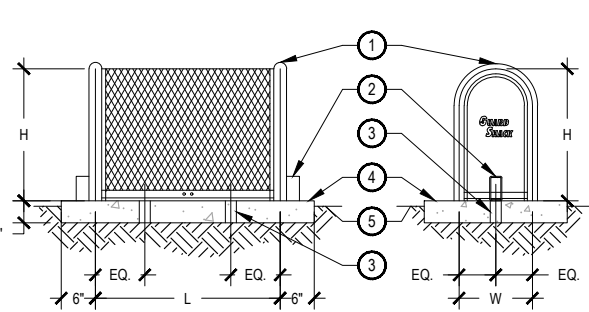


- 1 SUITABLE FASCIA, WALL, OR GUTTER MOUNT. MOUNT IN LOCATION WHERE SENSOR CAN RECEIVE FULL SUN AND IS OPEN TO RAINFALL.
- 2 SECURE TO EXTERIOR WALL.
- 3 WIRELESS RAIN SENSOR, LOCATE WITHIN 200' OF THE CONTROLLER.

- NOTE:
1. INSTALL SENSOR PER MANUFACTURER'S SPECIFICATIONS.
 2. FINAL LOCATION AND MOUNTING SYSTEM TO BE APPROVED BY OWNERS REPRESENTATIVE.

5 RAIN SENSOR

SCALE: NTS

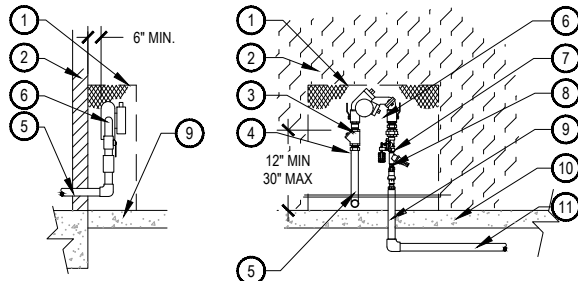


- 1 LIFT-OFF GUARDSHACK ENCLOSURE
- 2 LOCK SHIELD
- 3 HOLES FOR INFLOW AND OUTFLOW PIPES OF BACKFLOW PREVENTER
- 4 CONCRETE PAD - PAD TO BE 6" LARGER ON ALL SIDES THAN INTERIOR DIMENSIONS OF GUARDSHACK ENCLOSURE
- 5 FINISH GRADE

STANDARD LIFT-OFF GUARDSHACK INTERNAL DIMENSIONS	
GS-5	10"W x 18"H x 12"L
GS-1	10"W x 24"H x 22"L
GS-2	10"W x 24"H x 30"L

2 LIFT-OFF GUARDSHACK ENCLOSURE

SCALE: NTS



- NOTE:
1. INSTALL PER LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS.
 2. PROVIDE PVC PIPE PROTECTION AND FLEXIBLE WATERPROOF SEALANT AROUND SUPPLY LINES AS THEY GO THROUGH THE CONCRETE SLAB.
 3. ALL BOLTS FOR MOUNTING BRACKETS SHALL BE ZINC PLATED TAMPER PROOF.
 4. PRODUCT AVAILABLE FROM GUARDSHACK 3831 E. GROVE ST. PHOENIX, AZ 85040 PH: (602) 426-1002 EXT. 422 FX: (602) 426-1005

3 BACKFLOW PREVENTER AT ROOF DECKS

SCALE: NTS

IRRIGATION NOTES

1. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY TO INSTALL THE IMPROVEMENTS SHOWN ON THE PLANS.
2. THE CONTRACTOR SHALL COORDINATE AS NECESSARY WITH THE GENERAL CONTRACTOR AND OWNER'S REPRESENTATIVE FOR SUCCESSFUL COMPLETION OF THIS WORK.
3. THE CONTRACTOR ASSUMES ALL LIABILITY ASSOCIATED WITH THE MODIFICATION OF THE IRRIGATION SYSTEM DESIGN WITHOUT NOTIFYING OWNER'S REPRESENTATIVE.
4. ALL IRRIGATION EQUIPMENT IS TO BE AS SPECIFIED OR APPROVED EQUAL PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT A THOROUGH SITE INSPECTION AND REVIEW OF THE PROJECT CONSTRUCTION DOCUMENTS INCLUDING BUT NOT LIMITED TO THE FOLLOWING: LANDSCAPE PLAN, UTILITY PLAN, CIVIL PLAN, ARCHITECTURAL PLANS, ELECTRICAL PLANS, GRADING AND DRAINAGE AND ALL ASSOCIATED PLANS THAT AFFECT THIS WORK PRIOR TO BEGINNING CONSTRUCTION. IF THE CONTRACTOR OBSERVES ANY DISCREPANCIES AMONG THE CONSTRUCTION DOCUMENTS AND THE EXISTING CONDITIONS ON SITE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL AND STATE REGULATIONS TO INSTALL THE IRRIGATION SYSTEM AND ITS COMPONENTS PER THE MANUFACTURER'S SPECIFICATIONS AS SHOWN ON THESE DOCUMENTS. THE CONTRACTOR SHALL OBTAIN AND PROVIDE PAYMENT FOR ALL PERMITS REQUIRED BY ANY AND ALL LOCAL AND STATE AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THIS SITE.
7. THE CONTRACTOR MUST VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. IF THE CONTRACTOR FAILS TO DO SO AND DAMAGES ANY UNDERGROUND UTILITIES THROUGH THE COURSE OF HIS WORK, THE CONTRACTOR SHALL PAY FOR ANY/AND ALL REPAIR WORK ASSOCIATED WITH SAID DAMAGES.
8. IT IS THE INTENT OF THIS DESIGN THAT ALL IRRIGATION EQUIPMENT BE INSTALLED WITHIN THE PROJECT LIMITS AND WITHIN LANDSCAPE AREAS. ANY EQUIPMENT SHOWN OUTSIDE OF THESE LIMITS IS SHOWN FOR GRAPHICAL CLARITY ONLY. IF THERE IS A QUESTION REGARDING THE LOCATION OF ANY COMPONENT OF THE IRRIGATION SYSTEM, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE OWNER'S REPRESENTATIVE. IF THE CONTRACTOR NEGLECTS TO NOTIFY THE NECESSARY PARTIES, THE CONTRACTOR SHALL PAY FOR ANY REPLACEMENT OR MODIFICATION TO INSURE PROPER LOCATION AND OPERATION OR THE IRRIGATION SYSTEM AND ITS COMPONENTS.

9. PLANT MATERIAL LOCATIONS TAKE PRECEDENTS OVER IRRIGATION LINES. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
10. IF IRRIGATION SLEEVING IS REQUIRED A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN BANKS OF SLEEVES USED FOR OTHER ON-SITE UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE ADEQUATE VERTICAL SEPARATION BETWEEN ALL IRRIGATION DISTRIBUTION LINES AND ALL UTILITIES (EXISTING OR PROPOSED) CONDUIT, STORM WATER COMPONENTS, DRAINS, ETC.
11. ALL VALVE BOXES / LIDS SHALL BE PLASTIC, COLOR TAN, WITH LOCKING COVERS, PER THE CONSTRUCTION DETAILS. UNDER NO CIRCUMSTANCES ARE VALVE BOXES TO BE LOCATED IN THE TURF AREAS. ALL VALVE BOXES SHALL BE INSTALLED A MINIMUM OF 1'-0" FROM THE EDGE OF PAVED SURFACES AND 3'-0" FROM THE CENTERLINE OF DRAINAGE SWALES OR RETENTION BASINS. THE CONTRACTOR SHALL ADJUST ALL VALVE BOXES TO BE FLUSH FINISH GRADE AS PER THE CONSTRUCTION DETAIL.
12. THE CONTRACTOR SHALL COORDINATE INSTALLATION OF DRIP IRRIGATION LINES PRIOR TO INSTALLATION OF PLANT MATERIAL WITH THE OWNER'S REPRESENTATIVE.
13. LAYOUT EMITTER TUBING PARALLEL TO TOPOGRAPHY WHEREVER POSSIBLE. INSTALL FLUSHABLE TYPE END CAP AT ENDS OF ALL 3/4" PVC DRIP LATERALS AND FLUSH THOROUGHLY BEFORE INSTALLING EMITTERS.
14. TREES, SHRUBS, AND GROUND COVER SHALL BE IRRIGATED BY PRESSURE REGULATING, SINGLE OUTLET EMITTERS, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION.
15. PLANTERS SHALL BE IRRIGATED BY ADJUSTABLE BUBBLER, SEE EMITTER SCHEDULE FOR ADDITIONAL INFORMATION. CONTRACTOR TO DETERMINE QUANTITY AND SPACE EVENLY IN PLANTER.
16. THE CONTRACTOR SHALL FINE TUNE / ADJUST THE IRRIGATIONS SYSTEM TO AVOID / REDUCE OVER-SPRAY ONTO HARD SURFACES BY ADJUSTING NOZZLE DIRECTION AND NOZZLE RADIUS.
17. THE CONTRACTOR SHALL EXTEND THREE SPARE CONTROL WIRES (ONE COMMON AND 2 CONTROL WIRES) FROM THE CONTROLLER TO THE END OF THE MAINLINE OR AS SHOWN ON THE PLANS. INSTALL SPARE WIRES IN A 10" ROUND VALVE BOX WITH A QUICK COUPLING VALVE. USE ONLY #14 OR #12 (WHEN NECESSARY) DIRECT BURY COPPER WIRE FOR ALL UNDERGROUND WIRING.
18. GROUNDING FOR THE IRRIGATION CONTROLLER IS TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND PER THE AMERICAN SOCIETY OF IRRIGATION CONSULTANTS GUIDELINE 100-2002 FOR EARTH GROUNDING ELECTRONIC EQUIPMENT IN IRRIGATION SYSTEMS FOUND AT www.asic.org/Design_Guides.aspx. CONTACT THE MANUFACTURER FOR ADDITIONAL TECHNICAL ASSISTANCE.

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MFR	MODEL NO.	COMMENTS	DETAIL
POC-A#	IRRIGATION POINT OF CONNECTION	NA	3/4" Type K Copper Stub (By Others)	Refer to Plumbing Plans	
POC-B#	BACKFLOW PREVENTER	FEBCO	3/4" Reduced Pressure Backflow Preventer (B25YA) WYE Strainer	In Guardshack Security Enclosure	IR2.00/1
	IRRIGATION CONTROLLER	RAINBIRD	ESP4ME	Wall mount X valves	
◇	RAIN SENSOR	RAINBIRD	Rain/Freeze Sensor (WR2)	Wireless Mount on building fascia	
x	GATE VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve	Size per line size	
⊙	QUICK COUPLER	RAINBIRD	Carson Standard Valve Box (1419) 1" Quick Coupler (44-LRC)		
⊕	MANUAL DRAIN VALVE	WATTS	Carson 910 Round Valve Box WGV-X Bronze Gate Valve		
⊕	VALVE ASSEMBLY DRIP	RAINBIRD	Carson 1220 Jumbo Valve Box 1" Sch. 80 PVC Ball Valve 1" Drip Zone Control Kit (XCZ-100-PRB-COM)		
■	ROOTZONE BUBBLER	RAINBIRD	RWS-B-C-P-SOCK	Connected to existing tree drip system	
—	PVC SLEEVING	NA	Class 160 PVC		
---	SERVICE LINE	NA	3/4" Type K Copper		
---	PVC MAINLINE	NA	3/4" Class 200 PVC	Unless otherwise noted on plan	
—	DRIP LATERAL	NA	3/4" Polyethylene Drip Tubing	Unless otherwise called out on plan	
—	END CAP	NA	Carson 910 Round Valve Box Poly Hose End Flush Cap		

VALVE CALLOUTS		EMITTER SCHEDULE	
POC Number	Valve / Station Number	PLANT TYPE	EMITTER RATE
G/R/# - # - X	Zone Designation: T (Tree), S (Shrub), P (Planters), G (Turf)	1 GAL PLANTS	0.5 GPH
X" XX	Valve Flow: (GPM)	5 GAL PLANTS	0.5 GPH
	Valve Size	TREES	1.0 GPH
		PLANTER	RB SXB-180-SPKY
			# OF EMITTERS
			ONE EACH
			TWO EACH
			SIX EACH
			PER CONTRACTOR

- NOTES
1. ALL PLANTERS SHALL BE IRRIGATED W/ RAIN BIRD SXB-180-SPKY, ADJUSTABLE BUBBLER.
 2. ALL PLANT MATERIAL SHALL BE IRRIGATED W/ RAIN BIRD XB BARBED PRESS-ON TYPE SINGLE-PORT PRESSURE COMPENSATING EMITTERS.
 3. 1/4" DISTRIBUTION TUBING NOT TO EXCEED 8' IN LENGTH.
 4. RAIN BIRD DBC-025 DIFFUSER BUG CAP AND TS-025 STAKE ON ALL 1/4" DISTRIBUTION TUBING.



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KITGY.COM

LANDSCAPE ARCHITECT



511 W. 200 S. SUITE 125
S.C. UTAH 84101
OFFICE: (801) 921-2370
WWW.LANDSCAPEDESIGNGROUP.COM

CONTACT:
JEFF RICHARDSON
JRICHARDSON@LANDSCAPEDESIGNGROUP.COM

FOR:

URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD MULTI-FAMILY

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE: ISSUED FOR:

08.06.21 SITE PLAN 01

09.29.21 PLANNING

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01.05.22 PLANNING RESUBMITTAL

IRRIGATION
DETAILS



SCALE:
1/16" = 1'-0"

PROJECT NUMBER
2017-10-C

L2-02

STREET LEVEL PLANTING MATERIALS - 704 SOUTH

SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
C0	11	2" CAL.	CARPINUS BETULUS 'JFS-KW1CB' PP 22814 EMERALD AVENUE	EMERALD AVENUE HORNBEAM	40'x28'	STREET	*STREET TREE PER URBAN FORESTRY *RMP HIGH VOLTAGE AREA
U0	4	2" CAL.	ULMUS X 'TRIUMPH'	TRIUMPH ELM	55'x40'	STREET	*STREET TREE PER URBAN FORESTRY *RMP HIGH VOLTAGE AREA

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
1,310	FLATS	ACTOSTAPHYLOS X C. 'PANCHITO'	PANCHITO MANZANITA	10'x30"	GV3	PART SHADE
14	2 GAL.	EUONYMUS FORTUNEI 'COLORATA'	WINTERCREEPER	24'x60"	GV4	MOUNDING G.C. - SUN // SHADE
68	3 GAL.	RHUS AROMATICA 'AUTUMN AMBER'	AUTUMN SUMAC	18'x36"	GV1	FULL SUN // LIGHT SHADE
1,130	FLATS	SEDUM ACRE 'OCTOBERFEST'	OCTOBERFEST SEDUM	4'x18"	GV1	FULL SUN

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
24	3 GAL.	GAURA LINDHEIMBERI	WHIRLING BUTTERFLIES	36'x30"	P1	FULL SUN
3	5 GAL.	IPOMOEA BATATAS 'MARGERITE'	SWEET POTATO VINE	12'x36"	*MED	*FULL SHADE - IN POT
92	1 GAL.	SALVIA NEMOROSA 'SENSATION ROSE'	SENSATION ROSE SAGE	24'x24"	P2	FULL SUN

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
25	2 GAL.	ARONIA M. 'LOW SCRAPE HEDGER'	DWARF CHOKEBERRY HEDGE	48'x30"	SD3	FULL SUN // PART SHADE

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
15	5 GAL.	ATHYRIUM 'GHOST'	GHOST FERN	24'x24"	*LOW	FULL SHADE // IN PLANTER

ORNAMENTAL GRASSES

QTY	SIZE	BOTANICAL NAME	COMMON NAME	MATURE HxW	ZONE	NOTES
216	1 GAL.	FESTUCA 'SISKIYOU BLUE'	SISKIYOU BLUE IDAHO GRASS	24'x16"	TW1	FULL SUN
40	1 GAL.	PENNISETUM ALOPECUROIDES 'HAMELN'	FOUNTAIN GRASS	24'x24"	TW2	SUN TO LIGHT SHADE

CITY OF SALT LAKE LANDSCAPE CALCULATIONS:

ZONE: GC (GENERAL COMMERCIAL)	WATER WISE PLANTS FOR SALT LAKE CITY
TOTAL SITE: 54,475 S.F.	DROUGHT TOLERANT SHRUBS
PRIVATE LANDSCAPE AREA: 1,600 S.F.	REQUIRED: 80%
TURF: NA	PROVIDED: 96% (552/572)
PROVIDED LANDSCAPING AREAS:	
ROW: 7,300 S.F.	DROUGHT TOLERANT TREES (17/17)
TOTAL TURF AREA: 0 S.F.	REQUIRED: 80%
MINIMUM 33% COVERAGE: Y	PROVIDED: 100%

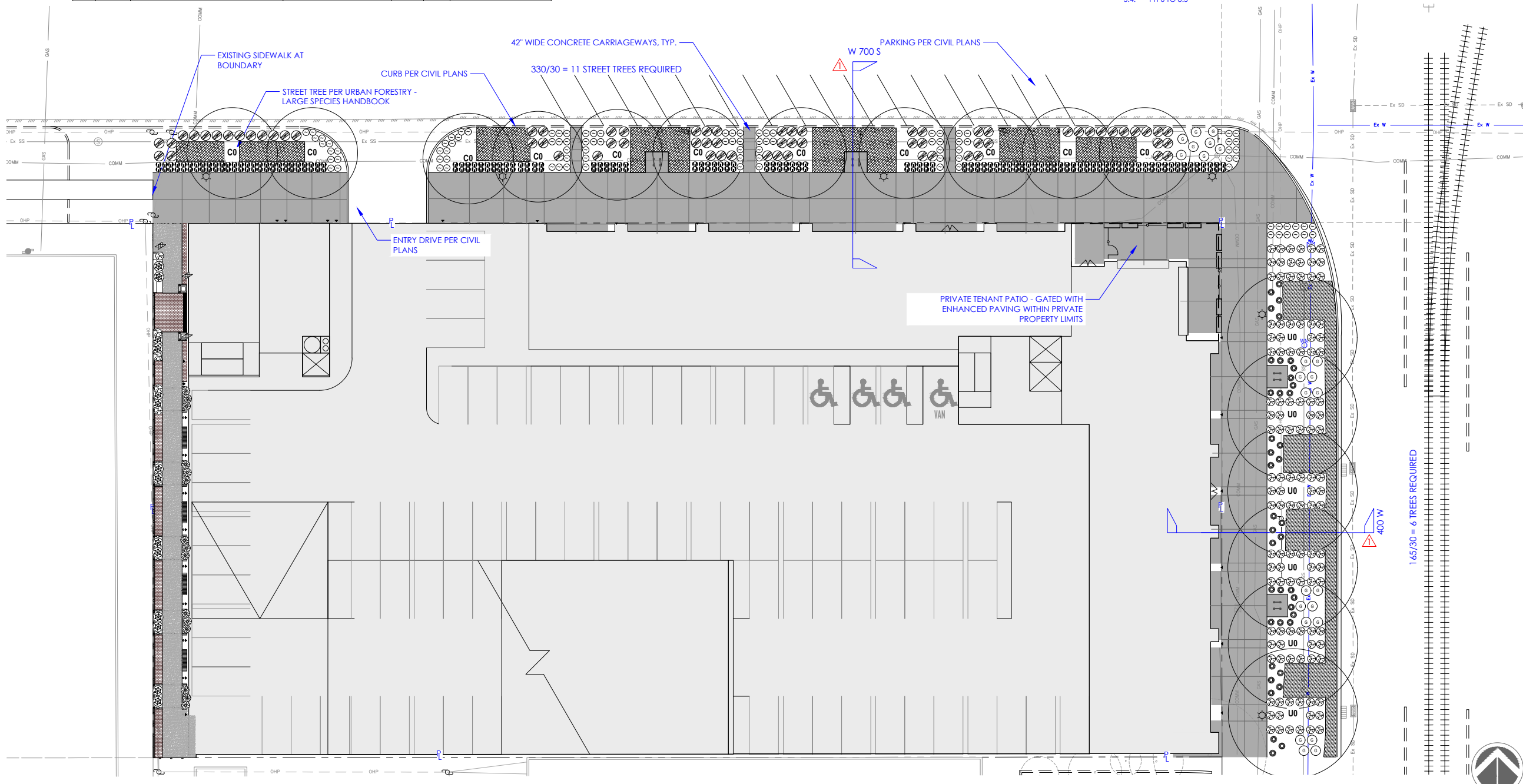
PARKWAY PLANTING - URBAN FORESTRY REQUIREMENTS

ALL TREES IN PUBLIC R.O.W. TO BE 2" CALLIPER - LOCATED:
 5' from water meter and/or utility box
 10' from fire hydrant
 5-10' from residential driveway
 5-10' from property line of adjoining parcel
 5-10' from non-traffic conducting signage
 5-10' from utility pole and/or light
 20' from an unregulated intersection (20' back from intersecting sidewalks)
 30' from stop signs
 30' from commercial driveway and/or alley
 40' from an intersection with traffic lights (40' back from intersecting sidewalks)
 20-30' from a tree that is medium in size at maturity (30 to 50' tall)

LANDSCAPE GENERAL NOTES

- REGULATIONS:
- ALL IMPROVEMENTS SHALL CONFORM TO THE GOVERNING (SALT LAKE CITY) STANDARDS AND SPECIFICATIONS
 - CONTRACTOR SHALL CALL BLUE STAKES OF UTAH TO VERIFY AND NOTE EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR FINAL LOCATION OF ALL UTILITIES. CONTRACTOR IS LIABLE FOR DAMAGES TO EXISTING INFRASTRUCTURE AND NEW IMPROVEMENTS
- EXISTING CONDITIONS:
- CONTRACTOR SHALL VERIFY ALL PLANS WITH EXISTING CONDITIONS. CONTRACTOR SHALL REPORT ANY DISCREPANCIES, CHANGES, OR ISSUES TO THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK
 - ALL UTILITIES ARE SHOWN FOR REFERENCE ONLY. CIVIL PLANS SHALL TAKE PRECEDENCE AND IT IS THE RESPONSIBILITY AND LIABILITY OF THE ACTING CONTRACTOR TO PROTECT AND REPAIR ANY DAMAGES TO UTILITIES.
- SITE PREPARATION:
- ALL LANDSCAPE AREAS TO HAVE WEEDS REMOVE AND GRUBBED WITH ALL DEBRIS MEASURING OVER 2" REMOVED
 - APPLY, AS NEEDED, CERTIFIED APPLICATIONS OF HERBICIDE
 - POSITIVE DRAINAGE IS TO BE MAINTAINED AWAY FROM ALL STRUCTURES
 - ENGINEERING PLANS SHALL TAKE PRECEDENCE
- SOIL
- MINIMUM OF 12" OF TOPSOIL IS REQUIRED IN ALL PLANTING AREAS
 - MINIMUM OF 4" OF TOPSOIL IS REQUIRED IN ALL TURF PLANTING AREAS
 - PLANTING HOLES SHALL BE DUG 2X AS WIDE AS ROOTBALL OF VEGETATION
 - BACKFILL FOR SHRUB AND TREE PLANTINGS SHALL BE 80% TOPSOIL/ 20% HUMUS MATERIAL
 - SOILS REPORT SHALL TAKE PRECEDENCE
 - TOPSOIL STANDARDS
 - SAND - 20%-70%
 - CLAY - 20%-70%
 - #10 SIEVE @ 15% MAXIMUM
 - PH 6 TO 8.5

EXISTING CONDITIONS:
 NO EXISTING TREES WITHIN THE PUBLIC ROW
 EXISTING SITE VEGETATION IN POOR HEALTH
 NO SPECIMEN PLANTING FOUND



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400

CONTACT:
 ALYSSA MILLER
 (303) 389-6029
 AMILLER@KTGY.COM



511 W. 200 S. SUITE 125
 SLC, UTAH 84101
 OFFICE: 801.521.2370
 WWW.LANDFORMDESIGNGROUP.COM

CONTACT:
 JEFF RICHARDSON
 JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
 URBAN ALFANDRE
 825 N 300 W #N141
 SALT LAKE CITY, UT 84103

CONTACT:
 JAMES ALFANDRE
 JAMES@URBANALFANDRE.COM

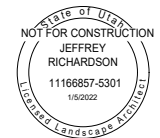
PACIFIC YARD MULTI-FAMILY
 704 SOUTH 400 WEST
 SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMITTAL

LANDSCAPE PLANTING PLAN

PROJECT NUMBER
 2021-10-C

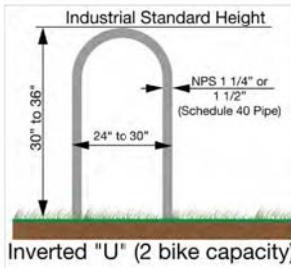
L3-01



SCALE:
 1/16" = 1'-0"

Standard of the Division of Transportation
Salt Lake City Community & Economic Development
BICYCLE PARKING
STANDARD DETAIL - RACK INSTALL ON PRIVATE PROPERTY

The inverted U rack, pictured, is preferred.



Quick Notes:

Concrete Pier Foundations:
On private property, rack feet may be submerged in concrete without hardware.

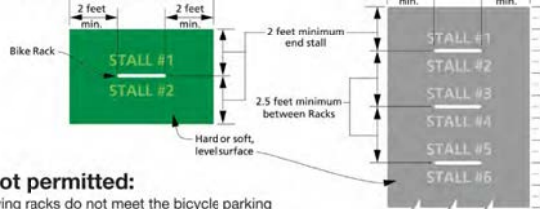
Material:
Galvanized, paint over galvanization, or stainless steel.

Location:
Bicycle parking is only useful to bicyclists if installed correctly and close to the entrance.

Racks on public way:
See additional Section F1.g1, "Rack Install on City Property".

Single Bike Rack parking area (1 or 2 stalls)

Multiple Bike Rack parking area



Racks not permitted:

The following racks do not meet the bicycle parking standard and will not be permitted to meet the requirements of Salt Lake City's bicycle parking ordinance (Salt Lake City Code, Section 21A.44.040)



Standard of the Division of Transportation
Salt Lake City Community & Economic Development
BICYCLE PARKING
STANDARD DETAIL - RACK INSTALL ON CITY PROPERTY

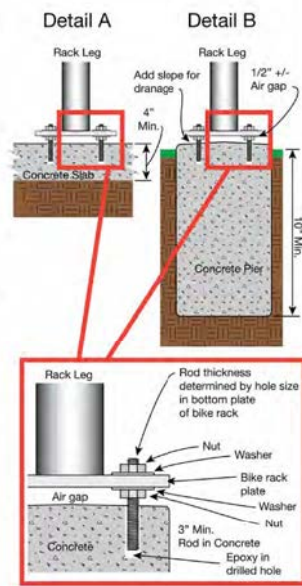
The following apply to racks installed on city property, in addition to all requirements of Section F1.f2 "Racks Install on Private Property."

Concrete foundations:

Required: Install racks with an air gap using mounting hardware as illustrated.

For earthen or landscaped surfaces rack must be installed on either:

- 4" thick concrete pad (Detail A). Length and width of pad to match the footprint of the bicycle parking area as shown in Section F1.f2.
 - One inverted U rack (two stalls) would require a 6' L x 4' W pad.
 - Additional racks would require larger pads.
- Concrete piers (Detail B). In most cases one bag of post mix is sufficient per pier.



Future ownership and maintenance

Racks installed on the public right of way must be donated to Salt Lake City. The City will not purchase custom racks. If a custom rack is damaged, the property owner may choose to purchase a custom replacement rack. The replacement would be donated to the City, and be installed by the City. Otherwise, Salt Lake City will replace the damaged rack with a standard rack.

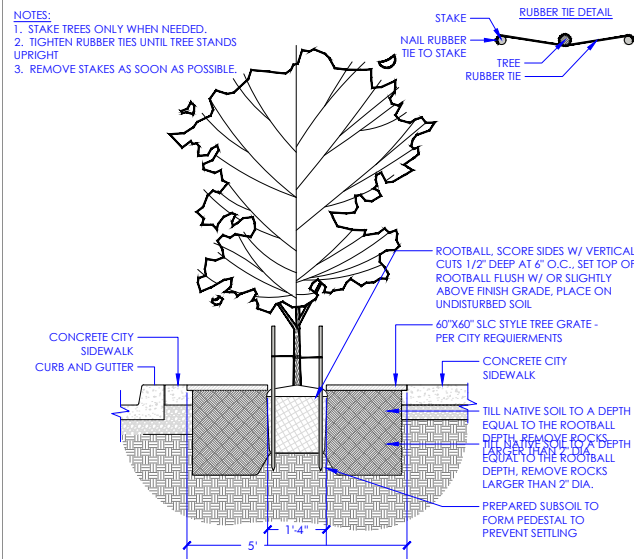
Questions? Contact the Salt Lake City Division of Transportation, Design Section at 801-535-6630.

Date	Revisions
01/14/2008	created
02/10/2009	added rack height
05/01/2012	changed document

3 DECIDUOUS TREE PLANTING

SCALE: NOT TO SCALE

- NOTES:
1. STAKE TREES ONLY WHEN NEEDED.
2. TIGHTEN RUBBER TIES UNTIL TREE STANDS UPRIGHT.
3. REMOVE STAKES AS SOON AS POSSIBLE.



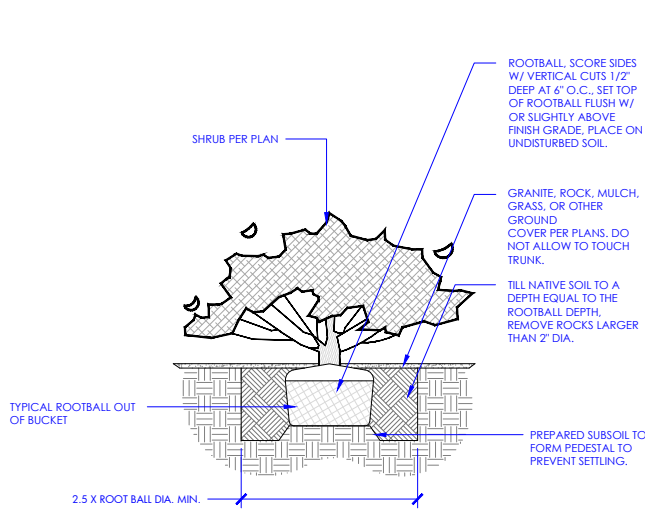
1 TREE GRATE

1/2" = 1'-0"

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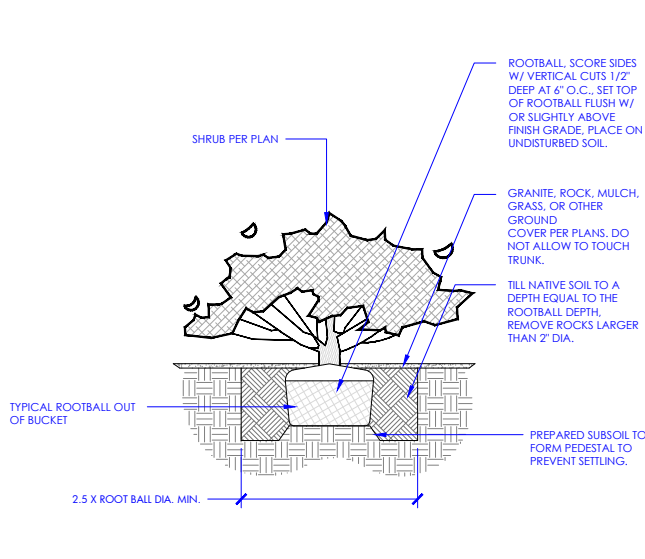
4 GRASS PLANTING AND PRUNING

SCALE: NOT TO SCALE



2 SHRUB PLANTING AND PRUNING

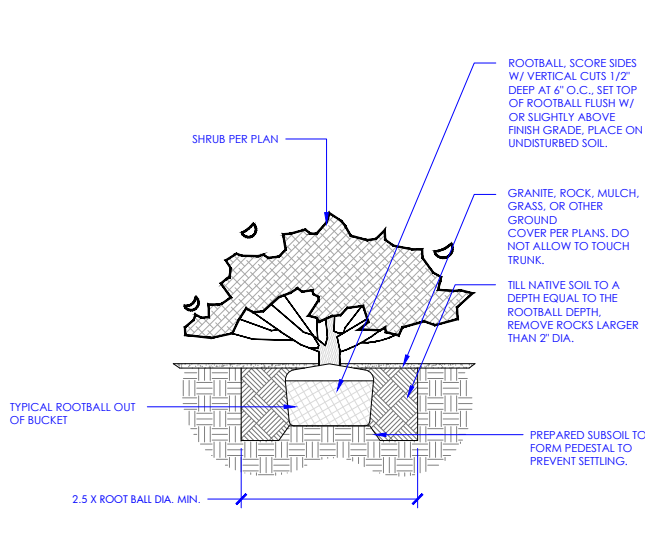
SCALE: NOT TO SCALE



5 EVERGREEN TREE PLANTING

SCALE: NOT TO SCALE

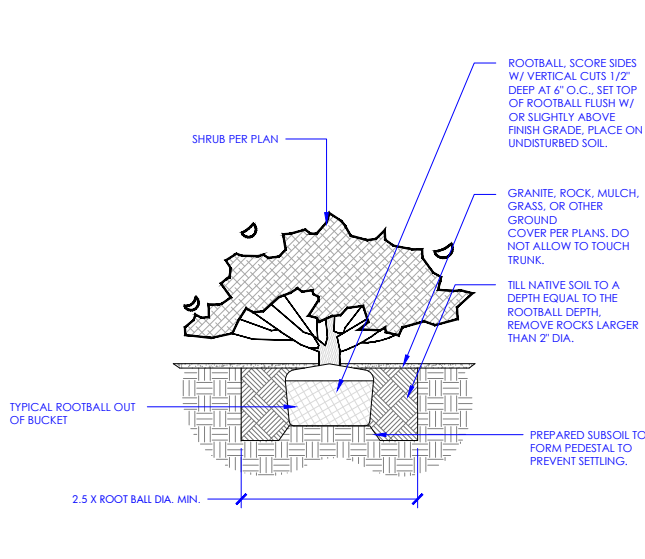
PROJ-20-ARCH-12



6 GROUNDCOVER PLANTING

SCALE: NOT TO SCALE

PROJ-20-ARCH-18



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389-6029
AMILLER@KITGY.COM



511 W. 200 S. SUITE 125
S.L.C. UTAH 84101
OFFICE: 801.521.2370
WWW.LANDFORMDESIGNGROUP.COM

CONTACT:
JEFF RICHARDSON
JRICHARDSON@LANDFORMDESIGNGROUP.COM

FOR:
URBAN ALFANDRE
825 N 300 W #141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
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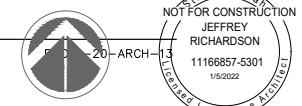
PACIFIC YARD MULTI-FAMILY
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
09.29.21	PLANNING
10.26.21	PLANNING
01.05.22	PLANNING RESUBMITTAL

LANDSCAPE DETAILS

PROJECT NUMBER: 20170.C

L3-02



SCALE: 1/16" = 1'-0"



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389-6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE: 08.06.21 ISSUED FOR: SITE PLAN 01
01.05.22 PLANNING RESUBMITTAL

PLANS

PROJECT NUMBER: 21008

A-01

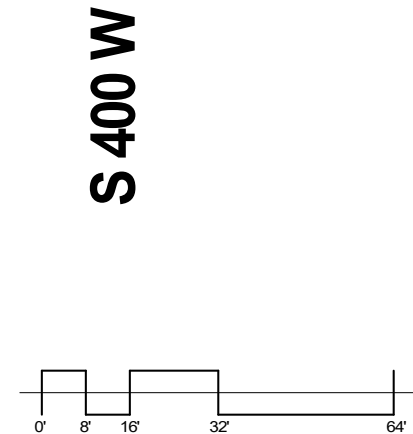
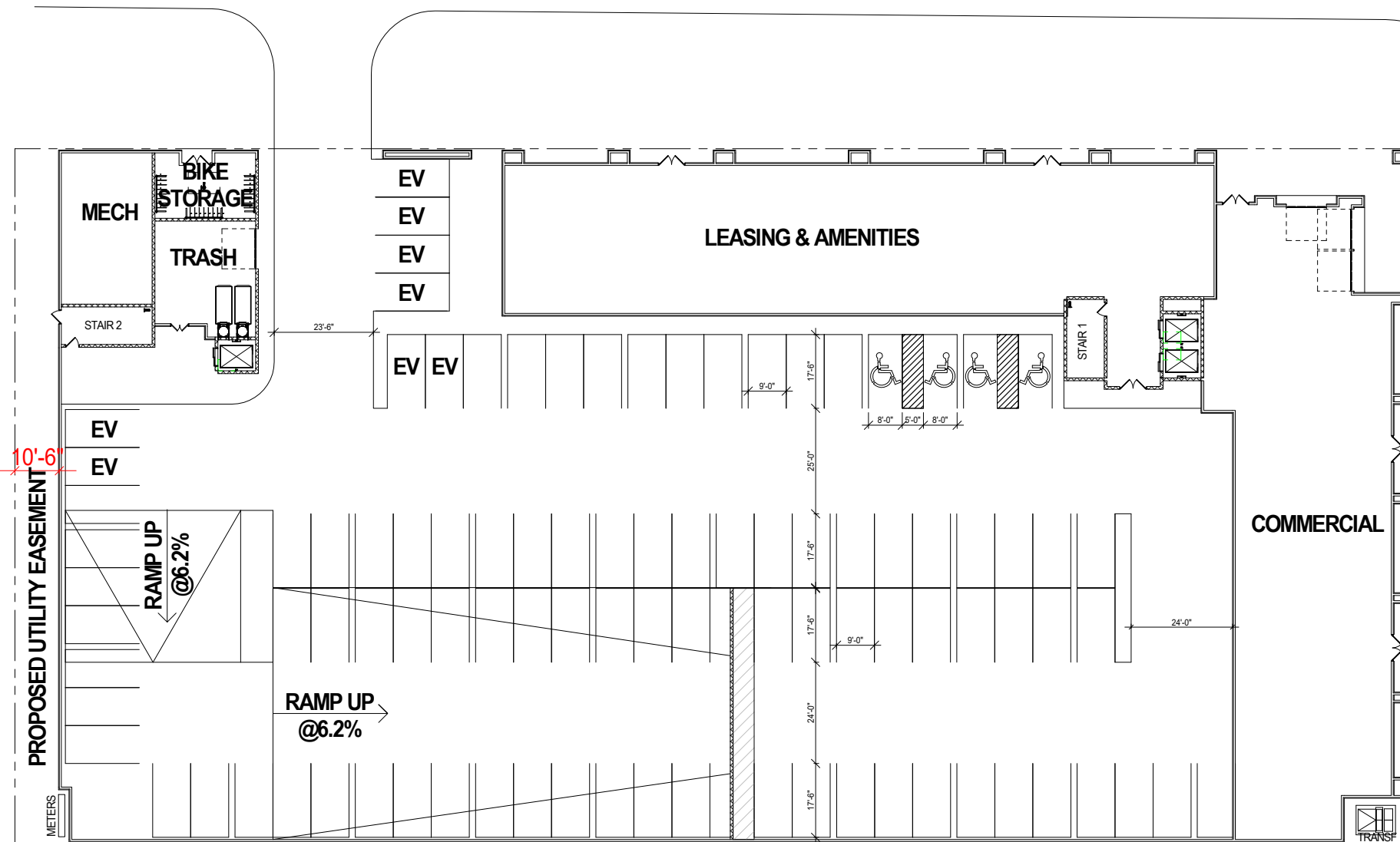
PACIFIC YARDS APARTMENTS MATRIX					
Gross Site Area	1.30	AC			
Dwelling Units	292	DU			
Density	225	DU/AC			
UNIT	Area	No.	Mix	Total Net S.F.	Avg. Net sq ft
0A.1	420	45	15.4%	18,900	
1A.1	529	80	27.4%	42,320	
1A.2	534	15	5.1%	8,010	
1B.1	543	11	3.8%	5,973	
1B.2	602	28	9.6%	16,856	
1B.3	621	31	10.6%	19,251	
1C.1	558	30	10.3%	16,740	
1C.2	558	15	5.1%	8,370	
1D	660	16	5.5%	10,560	
1E	731	5	1.7%	3,655	
2A.1	1,085	9	3.1%	9,765	
2A.2	1,105	7	2.4%	7,735	
Total		292	100.0%	168,135	576 sq ft

Gross Areas Summary (sq ft)					
Level	Garage	Retail	Residential	Amenities	Total Gross Area
1	35875	6060	2614	6,493	
2	31203		13973		
3			39123		
4			39484		
5			39372		
6			39372		
7			37675	893	
Gross Area	67078	6060	211613	7,386	

Summary Parking Provided		
Standard	Spaces	Average
Standard	186	
EV	8	
Accessible	8	
On Street Parking	25	
Total parking spaces provided	227	0.78 space/unit

Summary bike parking		
5% of total vehicle provided	Racks	Average
5% of total vehicle provided	11.35	
Total bike racks provided	10	0.03 space/unit

W 700 S



FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

1



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820 16TH STREET, SUITE 500
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CONTACT:
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(303) 389-6029
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FOR:
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SALT LAKE CITY, UT 84103
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PACIFIC YARD APARTMENTS

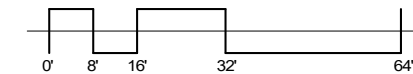
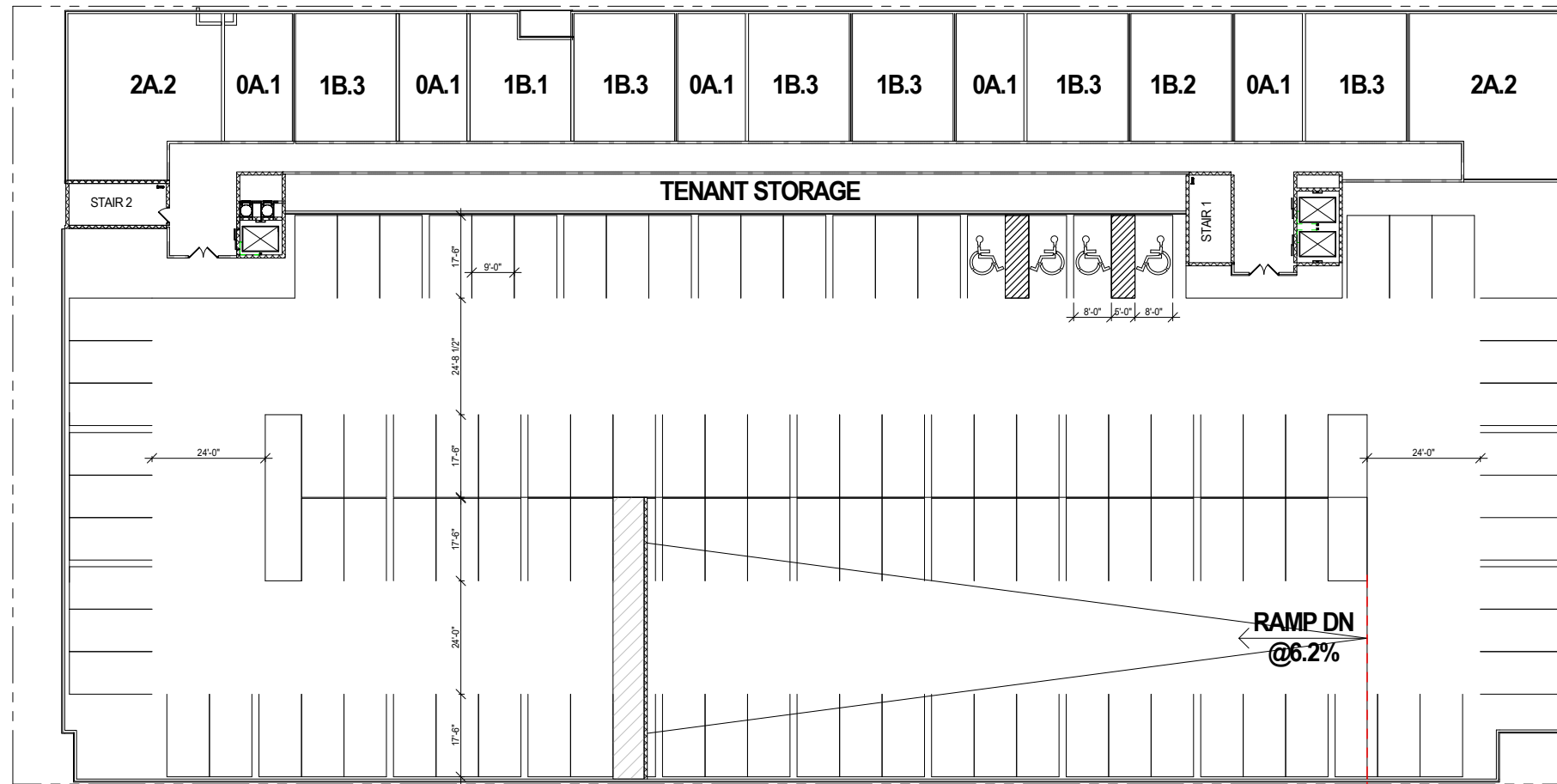
704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE: 08.06.21
ISSUED FOR: SITE PLAN 01
01.05.22
PLANNING RESUBMITTAL

PLANS

PROJECT NUMBER
21008

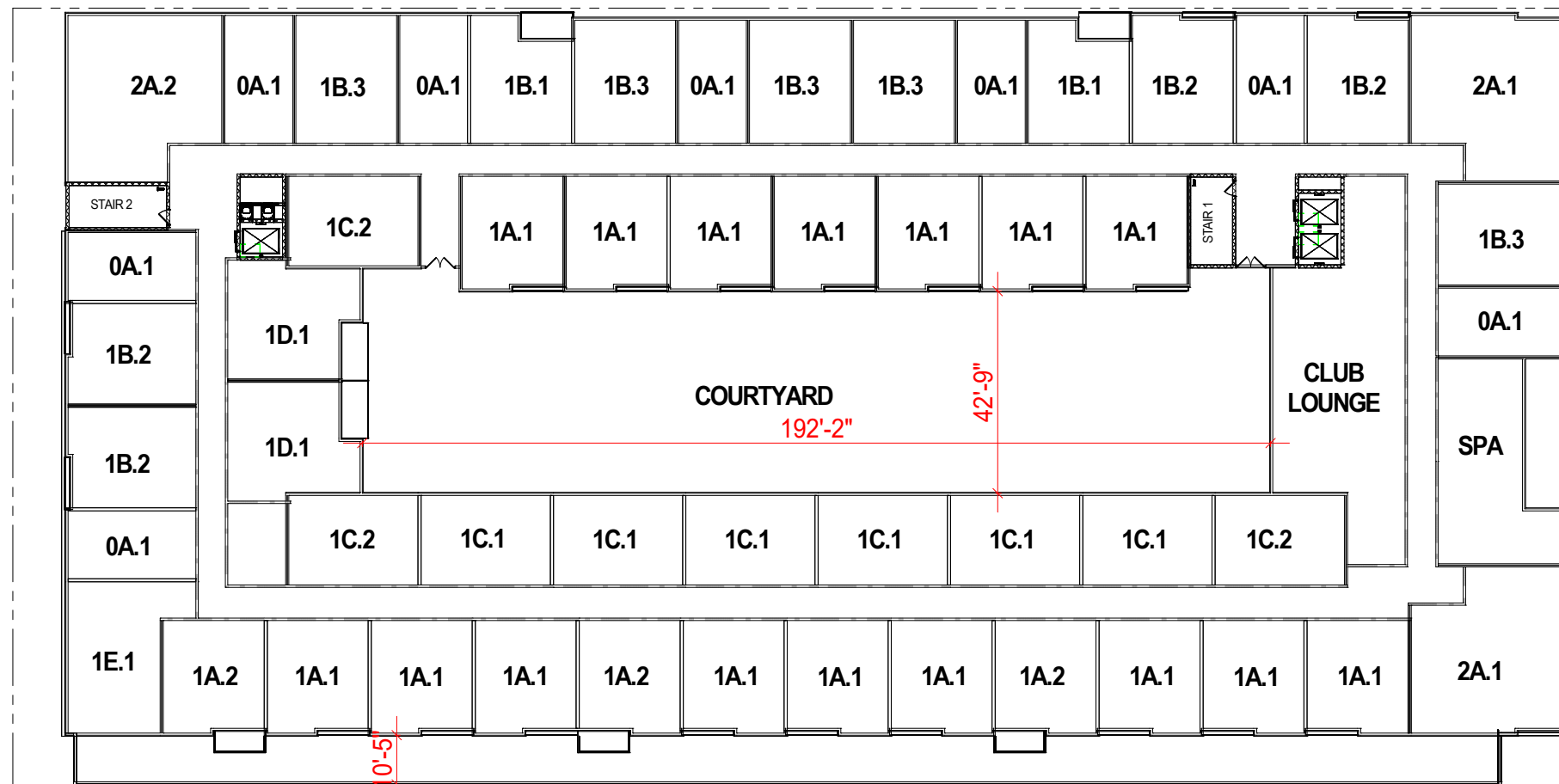
A - 02



SECOND FLOOR PLAN

SCALE:
1/16" = 1'-0"

2



THIRD FLOOR PLAN

SCALE:
1/16" = 1'-0"

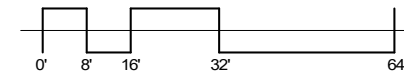
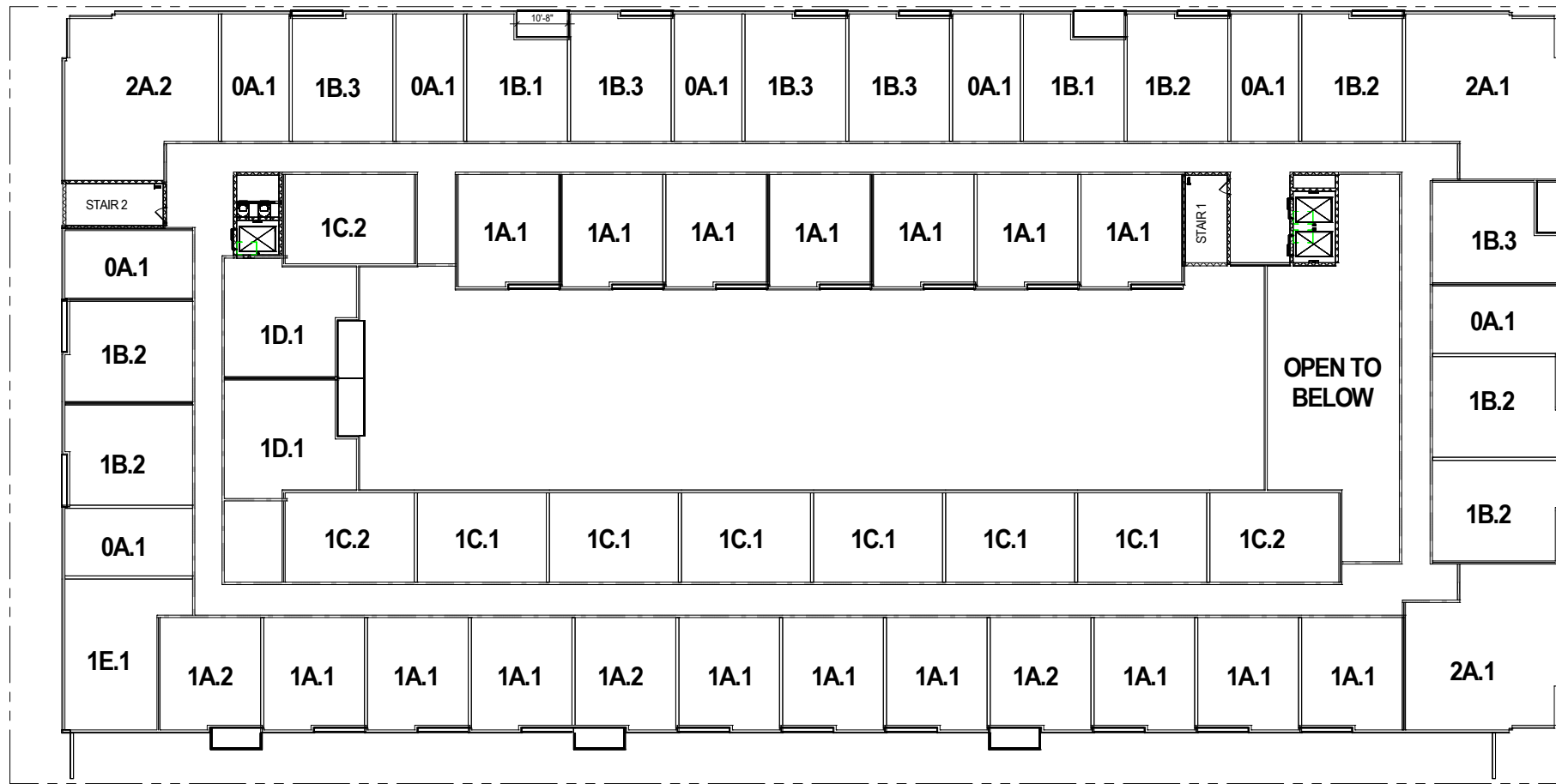
1



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400

CONTACT:
 ALYSSA MILLER
 (303) 389-6029
 AMILLER@KTGY.COM

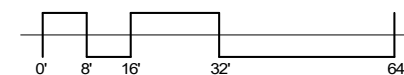
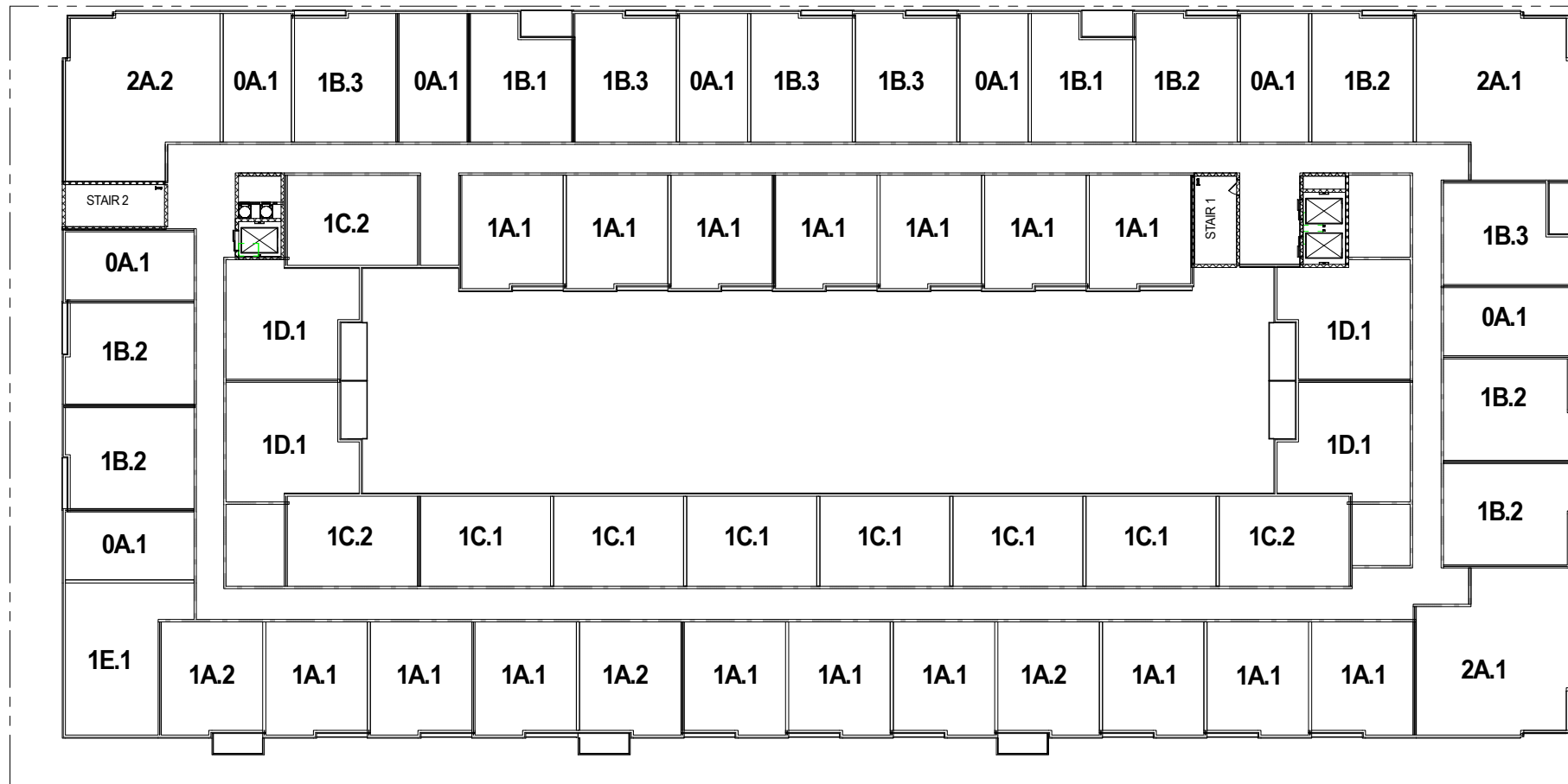
FOR:
 URBAN ALFANDRE
 825 N 300 W #141
 SALT LAKE CITY, UT 84103
 CONTACT:
 JAMES ALFANDRE
 JAMES@URBANALFANDRE.COM



FOURTH FLOOR PLAN

SCALE:
 1/16" = 1'-0"

2



FIFTH/ SIXTH FLOOR PLAN

SCALE:
 1/16" = 1'-0"

1

PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
 SALT LAKE CITY, UTAH

DATE: 08.06.21 ISSUED FOR: SITE PLAN 01
 01.05.22 PLANNING RESUBMITTAL

PLANS

PROJECT NUMBER
 21008

A - 03

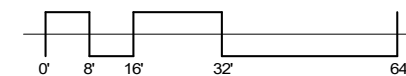
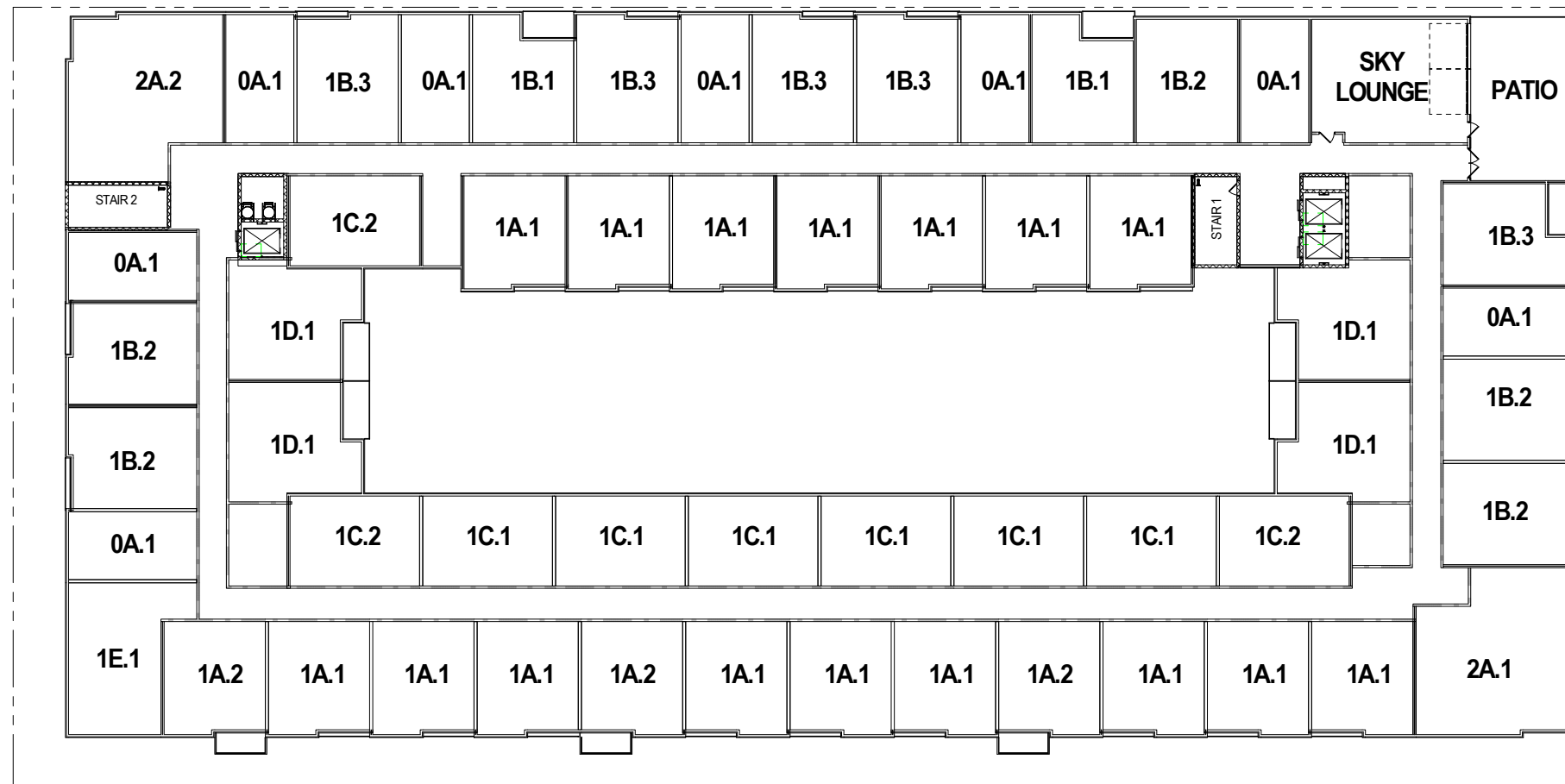
PACIFIC YARD APARTMENTS

704 SOUTH 400 WEST
SALT LAKE CITY, UTAH

DATE:	ISSUED FOR:
08.06.21	SITE PLAN 01
01.05.22	PLANNING RESUBMITTAL

PLANS

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#	KEYNOTES - SDP
1	BRICK - RUNNING - COLOR 1
2	BRICK - RUNNING - COLOR 2
3	BRICK - RUNNING - COLOR 3
4	STUCCO - COLOR 1
5	STUCCO - COLOR 2
6	STUCCO - COLOR 3
7	FIBER CEMENT PANELING - COLOR 1
8	METAL AWNING
9	VINYL WINDOW
10	STOREFRONT
11	CMU - COLOR 1
12	DECORATIVE METAL SCREEN
13	STANDING SEAM METAL PANEL
14	GLASS OVERHEAD DOOR
15	EXPOSED STRUCTURAL STEEL
16	METAL CANOPY W/ WOOD UNDERSIDE
17	GARAGE PEDESTRIAN ENTRY
18	BUILDING ENTRY
19	BUILDING SIGNAGE LOCATION MOUNTED ON AWNING
20	EXTERIOR WALL MOUNT DOWN LIGHT
21	BRICK - RUNNING - COLOR 4
22	ART DISPLAY



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103

CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

EAST ELEVATION

SCALE:
3/32" = 1'-0"

3



EAST ELEVATION

SCALE:
3/32" = 1'-0"

1

PACIFIC YARD APARTMENTS

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ELEVATIONS

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A - 05



KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389 6029
AMILLER@KITGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

KEYNOTES - SDP

- | | | | |
|----|---------------------------------|----|---|
| 1 | BRICK - RUNNING - COLOR 1 | 13 | STANDING SEAM METAL PANEL |
| 2 | BRICK - RUNNING - COLOR 2 | 14 | GLASS OVERHEAD DOOR |
| 3 | BRICK - RUNNING - COLOR 3 | 15 | EXPOSED STRUCTURAL STEEL |
| 4 | STUCCO - COLOR 1 | 16 | METAL CANOPY W/ WOOD UNDERSIDE |
| 5 | STUCCO - COLOR 2 | 17 | GARAGE PEDESTRIAN ENTRY |
| 6 | STUCCO - COLOR 3 | 18 | BUILDING ENTRY |
| 7 | FIBER CEMENT PANELING - COLOR 1 | 19 | BUILDING SIGNAGE LOCATION MOUNTED ON AWNING |
| 8 | METAL AWNING | 20 | EXTERIOR WALL MOUNT DOWN LIGHT |
| 9 | VINYL WINDOW | 21 | BRICK - RUNNING - COLOR 4 |
| 10 | STOREFRONT | | |
| 11 | CMU - COLOR 1 | | |
| 12 | DECORATIVE METAL SCREEN | | |



NORTH ELEVATION

SCALE:
3/32" = 1'-0"

1



NORTH ELEVATION

SCALE:
3/32" = 1'-0"

2

PACIFIC YARD APARTMENTS

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ELEVATIONS

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A - 06



KTGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389.6029
AMILLER@KTGY.COM

FOR:
URBAN ALFANDRE
825 N 300 W #N141
SALT LAKE CITY, UT 84103
CONTACT:
JAMES ALFANDRE
JAMES@URBANALFANDRE.COM

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 BRICK - RUNNING - COLOR 2
- 3 BRICK - RUNNING - COLOR 3
- 4 STUCCO - COLOR 1
- 5 STUCCO - COLOR 2
- 6 STUCCO - COLOR 3
- 7 FIBER CEMENT PANELING - COLOR 1
- 8 METAL AWNING
- 9 VINYL WINDOW
- 10 STOREFRONT
- 11 CMU - COLOR 1
- 12 DECORATIVE METAL SCREEN
- 13 STANDING SEAM METAL PANEL
- 14 GLASS OVERHEAD DOOR
- 15 EXPOSED STRUCTURAL STEEL
- 16 METAL CANOPY W/ WOOD UNDERSIDE
- 17 GARAGE PEDESTRIAN ENTRY
- 18 BUILDING ENTRY
- 19 BUILDING SIGNAGE LOCATION MOUNTED ON AWNING
- 20 EXTERIOR WALL MOUNT DOWN LIGHT
- 21 BRICK - RUNNING - COLOR 4
- 22 ART DISPLAY



WEST ELEVATION

SCALE:
3/32" = 1'-0"

2



WEST ELEVATION

SCALE:
3/32" = 1'-0"

1

PACIFIC YARD APARTMENTS

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ELEVATIONS

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A - 07



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400

CONTACT:
 ALYSSA MILLER
 (303) 389.6029
 AMILLER@KTGY.COM

FOR:
 URBAN ALFANDRE
 825 N 300 W #N141
 SALT LAKE CITY, UT 84103
 CONTACT:
 JAMES ALFANDRE
 JAMES@URBANALFANDRE.COM

KEYNOTES - SDP

- 1 BRICK - RUNNING - COLOR 1
- 2 BRICK - RUNNING - COLOR 2
- 3 BRICK - RUNNING - COLOR 3
- 4 STUCCO - COLOR 1
- 5 STUCCO - COLOR 2
- 6 STUCCO - COLOR 3
- 7 FIBER CEMENT PANELING - COLOR 1
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PACIFIC YARD APARTMENTS

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SOUTH ELEVATION

SCALE:
 3/32" = 1'-0"

1

ELEVATIONS

PROJECT NUMBER
 21008

A - 08



KTGY - ARCHITECTURE + PLANNING
 820 16TH STREET, SUITE 500
 DENVER, CO. 80202
 (303) 825-6400

CONTACT:
 ALYSSA MILLER
 (303) 389.6029
 AMILLER@KTGY.COM

FOR:
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PACIFIC YARD APARTMENTS

**704 SOUTH 400 WEST
 SALT LAKE CITY, UTAH**

DATE: 08.06.21 ISSUED FOR: SITE PLAN 01
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SITE SECTIONS

PROJECT NUMBER
 21008

A - 09



WEST SITE STREET SECTION

SCALE:
 1" = 20'-0"

4



SOUTH SITE STREET SECTION

SCALE:
 1" = 20'-0"

3



EAST SITE STREET SECTION

SCALE:
 1" = 20'-0"

5



NORTH SITE STREET SECTION

SCALE:
 1" = 20'-0"

1



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RENDERINGS

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KITGY - ARCHITECTURE + PLANNING
820 16TH STREET, SUITE 500
DENVER, CO. 80202
(303) 825-6400

CONTACT:
ALYSSA MILLER
(303) 389 6029
AMILLER@KITGY.COM

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825 N 300 W #141
SALT LAKE CITY, UT 84103
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PACIFIC YARD APARTMENTS

**704 SOUTH 400 WEST
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SHADOW STUDY

PROJECT NUMBER
21008



DECEMBER 22 - 9AM



DECEMBER 22 - 12 NOON



DECEMBER 22 - 4PM



MARCH 20 - 9AM



MARCH 20 - 12 NOON



MARCH 20 - 4PM



JUNE 22 - 9AM



JUNE 22 - 12 NOON



JUNE 22 - 4PM



SEPTEMBER 22 - 9AM



SEPTEMBER 22 - 12 NOON



SEPTEMBER 22 - 4PM